

# **Attachment B**

<b>Selected Drawings</b>
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# ASHMORE SUITES DEVELOPMENT APPLICATION

## DRAWING REGISTER

NUMBER	TITLE	SCALE
GENERAL ARRANGEMENT		
1709-DA01	REGISTER / LOCATION PLAN / SITE ANALYSIS	VARIABLES
1709-DA02	STRUCTURAL ELEVATION	1:250
1709-DA03	GROUND / FIRST FLOOR PLAN	1:100
1709-DA04	ATTIC / ROOF FLOOR PLAN	1:100
1709-DA05	ELEVATIONS	1:100
1709-DA06	SECTIONS	1:100
1709-DA07	SHADOW STUDIES 1	N/A
1709-DA08	SHADOW STUDIES 2	N/A
1709-DA10	PERSPECTIVES / DIAGRAMS	N/A
1709-DA12	WINDOW SCHEDULE	1:100

## BASIC COMMITMENTS

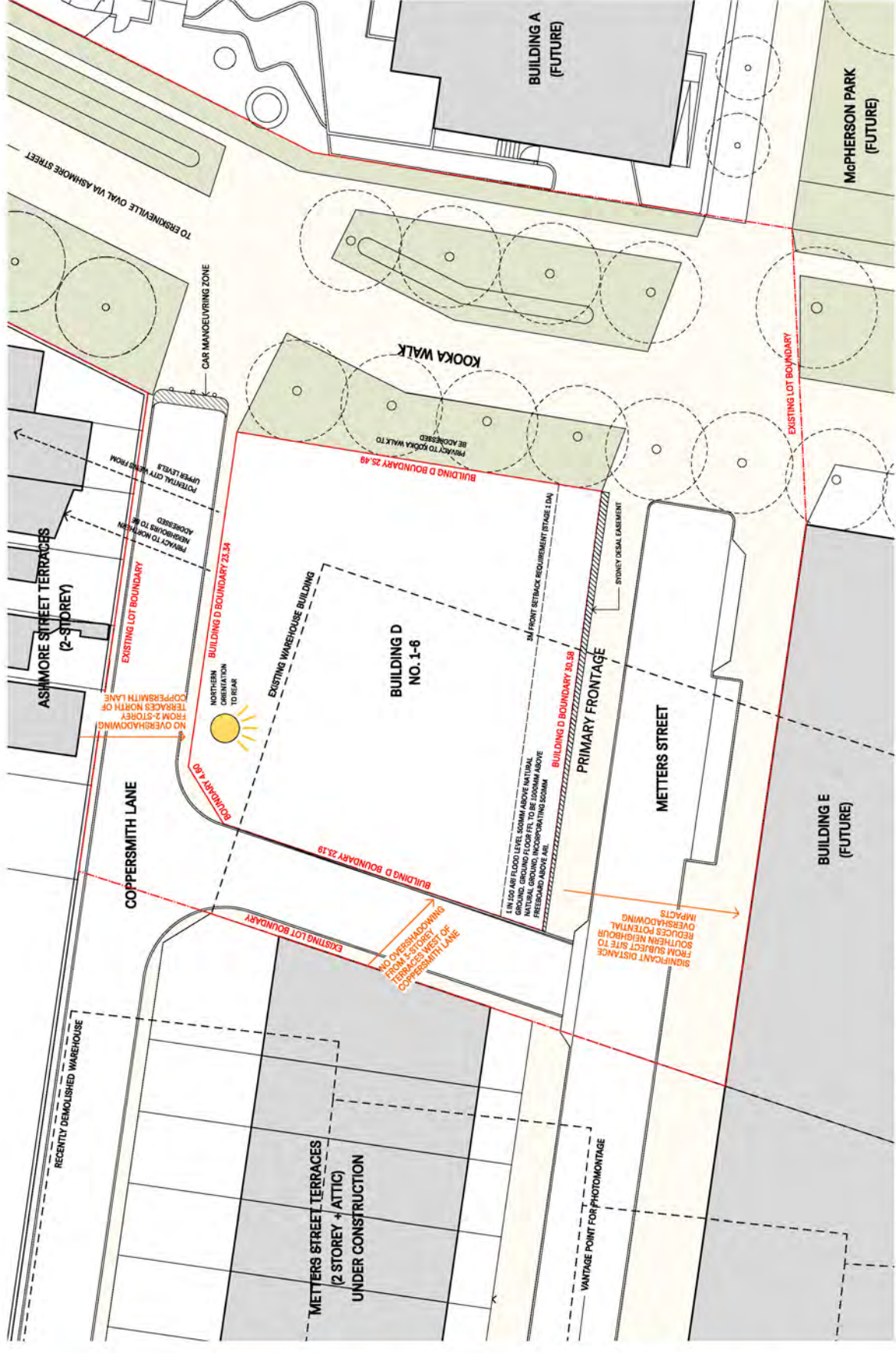
- Water**
- Install the following area of low water use or indigenous species: 0m<sup>2</sup>.
  - A 3,000L water tank is to be provided to each dwelling, to collect run off from at least 60 sq.m of paved area.
  - All shower heads to have 3 star rating (0.8 bar <= 7.5L/min).
  - All toilet flushing systems to have 4 star rating.
  - All kitchen taps to have 5 star rating.
  - All bathroom taps to have 5 star rating.
- Energy**
- Install 6 star gas instantaneous HWS.
  - Install individual fan in each bathroom, ducted to facade or roof, manual switch on/off.
  - Install individual fan in kitchen, ducted to facade or roof, manual switch on/off.
  - Install individual fan in laundry, ducted to facade or roof, manual switch on/off.
  - Install single phase air conditioning (EER 3.0-3.5 Zoned) to living areas and bedrooms for heating and cooling.
- Thermal Comfort**
- Install R 2.5 insulation to external walls.
  - Install R 1.5 insulation to party walls adjacent to OSD / rainwater tanks.
  - Install R 3.0 insulation to exposed slabs to roof terrace or balcony.
  - Install R1.0 insulation to vertical edges around the perimeter of the slab.



01 - LOCATION PLAN



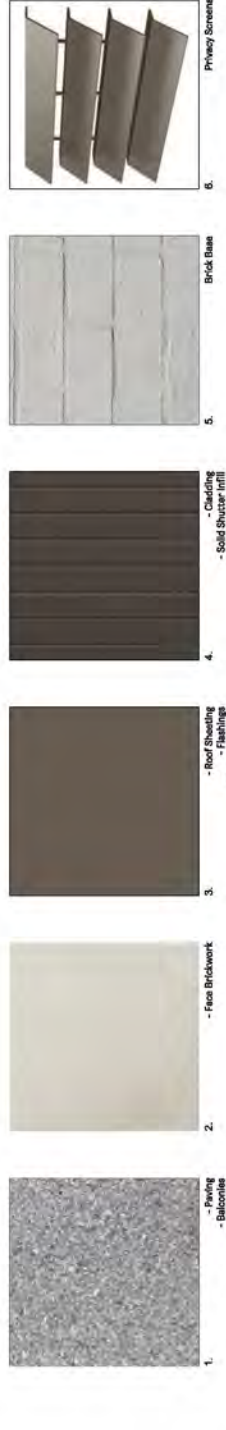
03 - CONTEXT PHOTOGRAPH - EXISTING TERRACES METTERS STREET



02 - SITE ANALYSIS AND DEMOLITION PLAN 1:200

## MATERIALS SCHEDULE

- LEGEND**
1. Pavement - Elastomeric
  2. Face Brickwork
  3. Roof Shingling - Fibreglass - Reinforced - L2 Cladding
  4. Solid Shutter - Iron
  5. Brick Base
  6. Privacy Screens



**COMPLIANCE**

INTELLECTUAL PROPERTY  
 DESIGNER: ANDREW BURNS ARCHITECTURE  
 ADDRESS: 1709 METTERS STREET, ASHMORE  
 TEL: 08 9355 8888  
 EMAIL: info@andrewburns.com.au  
 WEBSITE: www.andrewburns.com.au

**LEGEND**

AL	ALUMINIUM DOOR	AL	ALUMINIUM DOOR
AS	ALUMINIUM SASH	AS	ALUMINIUM SASH
BL	BALCONY	BL	BALCONY
CS	COMPRESSED POLYSTYRENE	CS	COMPRESSED POLYSTYRENE
CC	CONCRETE	CC	CONCRETE
CT	CONCRETE	CT	CONCRETE
CM	CONCRETE	CM	CONCRETE
CO	CONCRETE	CO	CONCRETE
CP	CONCRETE	CP	CONCRETE
CB	CONCRETE	CB	CONCRETE
CL	CONCRETE	CL	CONCRETE
CM	CONCRETE	CM	CONCRETE
CB	CONCRETE	CB	CONCRETE
CL	CONCRETE	CL	CONCRETE

**ISSUE DATE**

ISSUE	DATE	DESCRIPTION
A	08.03.19	DATE SUBMITTED FOR CLERK REVIEW
B	27.03.19	DATE FOR CLIENT REVIEW
C	14.03.19	DATE FOR APPROVAL
D	15.03.19	DATE FOR SUBMISSION
E	15.03.19	DATE FOR APPROVAL

**CLIENT**

NAME	ASHMORE SUITES
ADDRESS	1709-DA01-E
CONTACT	1709 METTERS STREET, ASHMORE

**HERITAGE CONSULTANT**

NAME	ANDREW BURNS ARCHITECTURE
ADDRESS	1709 METTERS STREET, ASHMORE
CONTACT	1709 METTERS STREET, ASHMORE

**STATUS**

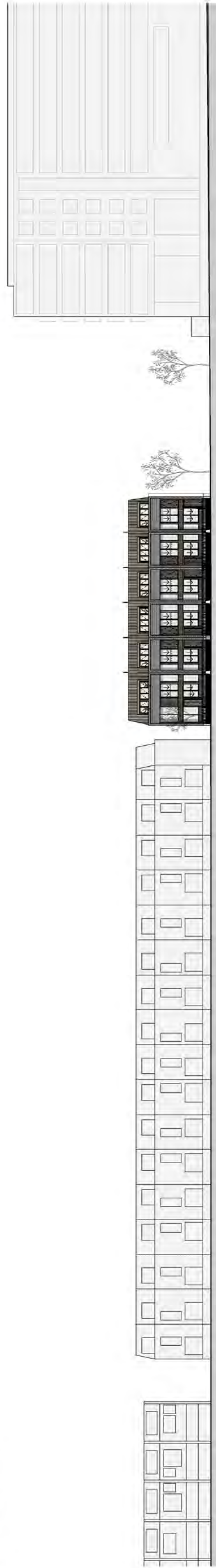
STATUS	DEVELOPMENT APPLICATION
CHECKED	AB
DRAWN	AB
SCALE	NORTH
PROJECT NUMBER	JT09
REGISTER / LOCATION PLAN / SITE ANALYSIS	REGISTER / LOCATION PLAN / SITE ANALYSIS
DRAWING NUMBER	1709-DA01-E

**ANDREW BURNS ARCHITECTURE**

REGISTERED ARCHITECT 17147  
 MEMBERSHIP NO: 203  
 ANDREW BURNS ARCHITECTURE



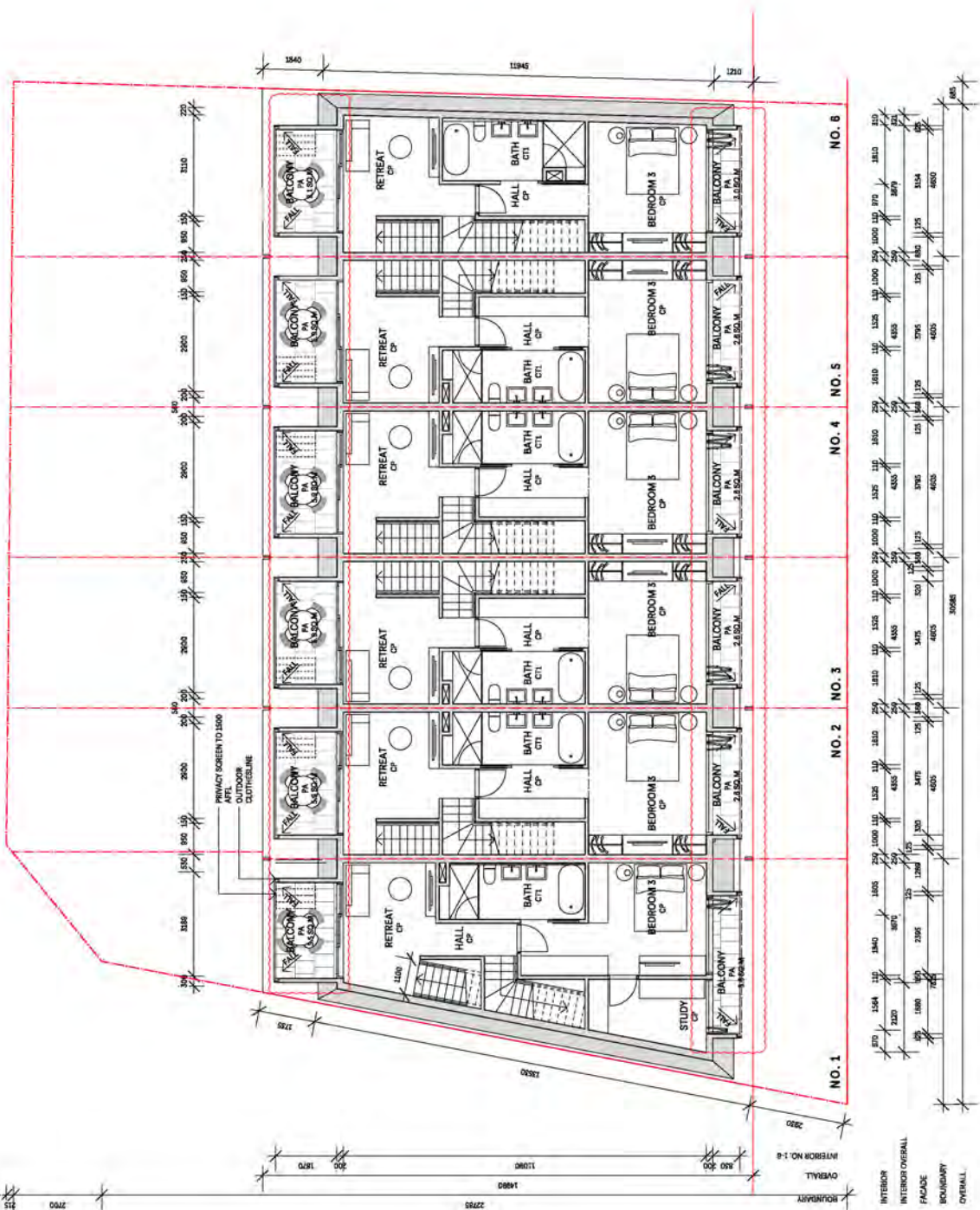
01 - SITE PLAN 1:250



02 - CONTEXT ELEVATION 1:250

<b>COMPLIANCE</b> INTELLECTUAL PROPERTY ARCHITECTURE AND DESIGN COPYRIGHT © 2024 ANDREW BURNS ARCHITECTURE ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ANDREW BURNS ARCHITECTURE.		<b>LEGEND</b> AL ALUMINIUM CLADDING AN ANTI-CORROSION PAINT BA BALUSTRADE CC COMPRESSED CONCRETE CO COAT OF PAINT CP CONCRETE PAVING CS CONCRETE SLAB CU CURB DF DOWNPIPE		<b>FBI</b> FC FLOOR COVERING FM FIRE MANTLE HD HARDWOOD FLOORING HW HARDWARE JI JOINERY MD METAL CLADDING MT METAL TRIM		<b>FACE BRICK</b> FC FACE BRICK FM FLOOR MATS HW HARDWARE JI JOINERY MD METAL CLADDING MT METAL TRIM		<b>PAVING</b> PV PAVING ST STONE TILES TR TRIMMED FLOORING WM WEATHERBOARD		<b>METAL CLADDING</b> MC METAL CLADDING TR TRIMMED FLOORING WM WEATHERBOARD		<b>STAINLESS STEEL</b> SS STAINLESS STEEL TR TRIMMED FLOORING WM WEATHERBOARD		<b>ISSUE DATE</b> A 06/03/19 DA SUBMISSION B 27/03/19 DA FOR CLIENT REVIEW C 14/01/19 DA FOR CLIENT REVIEW D 26/12/19 REVISED DA SUBMISSION		<b>DESCRIPTION</b> DA SUBMISSION DA FOR CLIENT REVIEW DA FOR CLIENT REVIEW REVISED DA SUBMISSION		<b>BCA</b> FL FLINTER INF INFRASTRUCTURE/PUB DOMAIN ACC ACCOMMODATION BU BUILDING SERVICES MO MOODBOARD		<b>HERITAGE CONSULTANT</b> L LA SCAP ARCHITECT S STRUCTURAL ENGINEER W WASTE MANAGEMENT EP EPWORTH		<b>CLIENT</b> G GREENLAND GROUP A ADDRESS ASHMORE ESTATE LOT 1709-0A02-E		<b>STATUS</b> DRAWN AB CHECKED AB SCALE 1:250 NORTH		<b>PROJECT NUMBER</b> J709 <b>SITE PLAN / CONTEXT ELEVATION</b> DRAWING NUMBER 1709-0A02-E		<b>ANDREW BURNS ARCHITECTURE</b> Registered Architect (F14) Architects (NSW 202) Melbourne (VIC 202) Perth (WA 202) Sydney (NSW 202)		<b>PROJECT</b> ASHMORE SUITES	
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02 - ATTIC PLAN 1:100

03 - ROOF PLAN 1:100

**INTELLECTUAL PROPERTY**  
 ANDREW BURNS ARCHITECTURE  
 1708-DA04-E

**COMPLIANCE**  
 ANDREW BURNS ARCHITECTURE  
 1708-DA04-E

**LEGEND**

AL	ALUMINUM DOOR	FR	FRAME CLAYT CLAYERS	MFC	METAL CLADDING	ST	STAINLESS STEEL
AW	ALUMINUM WINDOW	FM	FLOOR FINISH	MFL	METAL FLOOR	TD	THICK DOOR
B	BALCONY	FH	FLOOR FINISH	PA	PANES	TF	THIN FLOOR
C	COMPOSITE CONCRETE	HV	HVAC	RF	RETACTIBLE ROOF SECTION	TR	THIN ROOF
CC	CONCRETE	AV	AVENUE	SM	SMOKE SCREEN	TRW	THIN WINDOW
CD	COMPOSITE CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CE	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CF	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CG	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CH	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CI	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CJ	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CK	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CL	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CM	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CM	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CO	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CP	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CP	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CQ	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CR	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CS	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CT	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CU	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CV	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CW	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CX	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CY	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW
CZ	CONCRETE	AW	AVENUE WINDOW	SC	SMOKE SCREEN	TRW	THIN WINDOW

**CLIENT:** Greenland  
**ADDRESS:** Ashmore Estate, Lot 1708-DA04-E

**PROJECT NUMBER:** 1708-DA04-E  
**DRAWING NUMBER:** ATTIC / ROOF PLAN

**STATUS:** DRAWN AB, CHECKED AB, DEVELOPMENT APPLICATION CHECKED AB

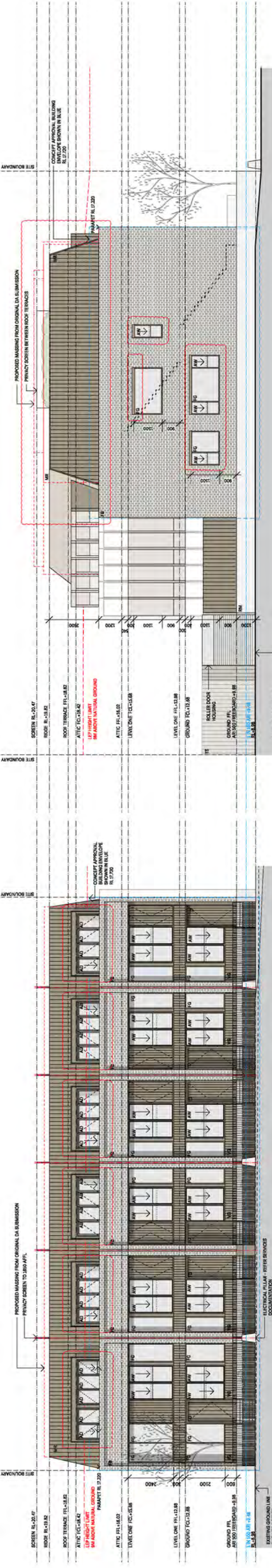
**SCALE:** 1:100  
**ORIENTATION:** NORTH

**HERITAGE CONSULTANT:** WAITE MANAGEMENT ADMINSTRATION  
**STRUCTURAL ENGINEER:** WAITE MANAGEMENT ADMINSTRATION

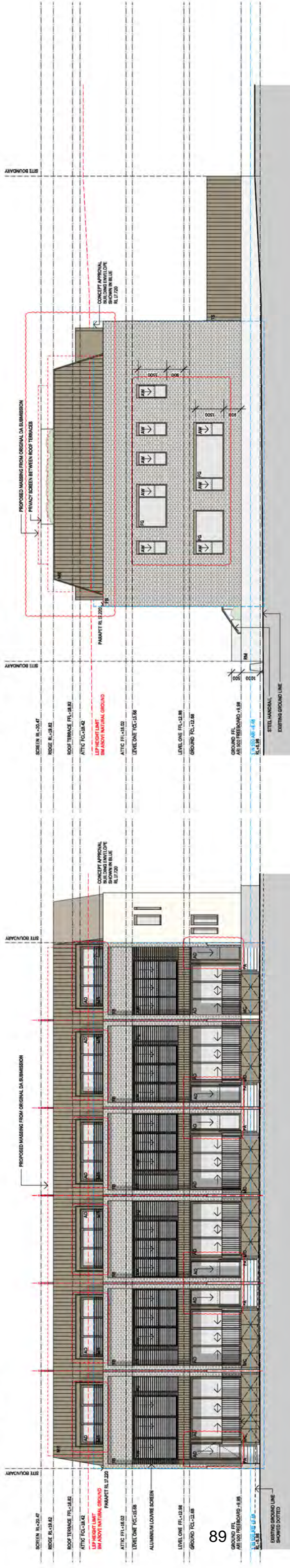
**BCA:** FULLY COMPLETED  
**PLANNING:** FULLY COMPLETED  
**CONSTRUCTION:** FULLY COMPLETED

**BUILDING SERVICES:** BUILDING SERVICES  
**WOODWORKER:** WOODWORKER

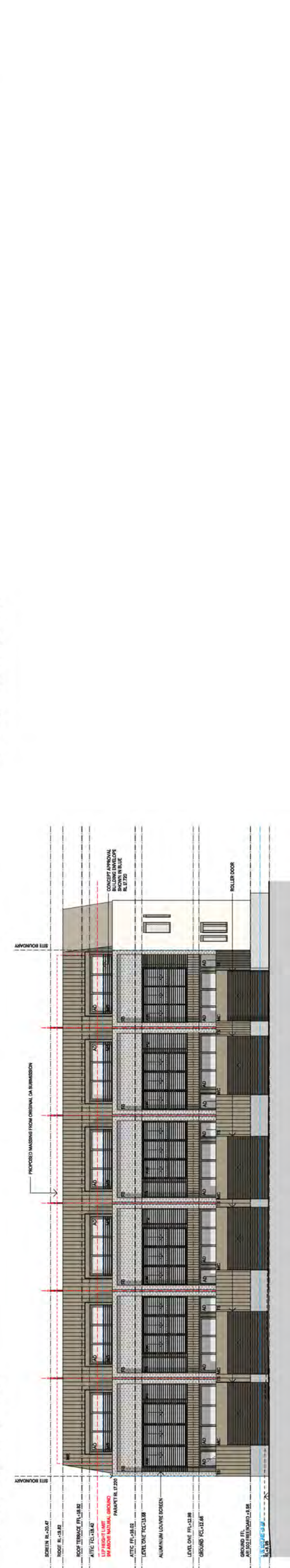
**PROJECT:** ASHMORE SUITES



01 - SOUTH ELEVATION 1:100



02 - WEST ELEVATION 1:100



03 - NORTH ELEVATION 1:100



04 - EAST ELEVATION 1:100

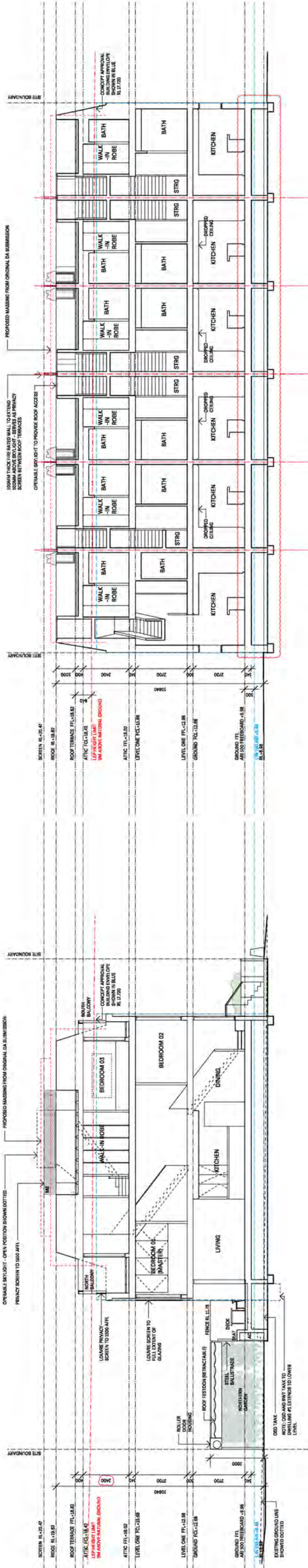
COMPLIANCE	INTELLECTUAL PROPERTY	LEGEND	ISSUE DATE	DESCRIPTION	BCA	CLIENT	STATUS	DEVELOPMENT APPLICATION	PROJECT NUMBER
1	1	1	15/01/2020	REVISED DA SUBMISSION	1	1709-0A05-F	DRAWN	CHECKED	1709
2	2	2	15/01/2020	REVISED DA SUBMISSION	2	1709-0A05-F	AB	AB	JT09
3	3	3	15/01/2020	REVISED DA SUBMISSION	3	1709-0A05-F	AB	AB	JT09
4	4	4	15/01/2020	REVISED DA SUBMISSION	4	1709-0A05-F	AB	AB	JT09
5	5	5	15/01/2020	REVISED DA SUBMISSION	5	1709-0A05-F	AB	AB	JT09
6	6	6	15/01/2020	REVISED DA SUBMISSION	6	1709-0A05-F	AB	AB	JT09
7	7	7	15/01/2020	REVISED DA SUBMISSION	7	1709-0A05-F	AB	AB	JT09
8	8	8	15/01/2020	REVISED DA SUBMISSION	8	1709-0A05-F	AB	AB	JT09
9	9	9	15/01/2020	REVISED DA SUBMISSION	9	1709-0A05-F	AB	AB	JT09
10	10	10	15/01/2020	REVISED DA SUBMISSION	10	1709-0A05-F	AB	AB	JT09

HERITAGE CONSULTANT	CLIENT	SCALE	NORTH	DRAWING NUMBER	PROJECT
Heritage Consultant Name	Greenland Group	1:100	N	1709-0A05-F	ASHMORE SUITES
Landscape Architect	Greenland Group				
Structural Engineer	Greenland Group				
Waste Management	Greenland Group				

ISSUE DATE	DESCRIPTION	BCA
15/01/2020	REVISED DA SUBMISSION	1
15/01/2020	REVISED DA SUBMISSION	2
15/01/2020	REVISED DA SUBMISSION	3
15/01/2020	REVISED DA SUBMISSION	4
15/01/2020	REVISED DA SUBMISSION	5
15/01/2020	REVISED DA SUBMISSION	6
15/01/2020	REVISED DA SUBMISSION	7
15/01/2020	REVISED DA SUBMISSION	8
15/01/2020	REVISED DA SUBMISSION	9
15/01/2020	REVISED DA SUBMISSION	10

05 - SHORT SECTION 1:100

06 - LONG SECTION 1:100



**COMPLIANCE**

Intellectual Property

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

AS/NZS 1171:2009

**LEGEND**

Legend	Description	Legend	Description	Legend	Description
A	ALUMINIUM DOOR	SS	STAINLESS STEEL	B	BATH
AL	ALUMINIUM	TD	TIMBER DOOR	BK	BATH KITCHEN
AW	ALUMINIUM WINDOW	TT	TIMBER	BR	BATH ROBE
GL	GLASS	TR	TIMBER	CH	CHIMNEY
ST	STEEL	TS	TIMBER	CS	CONCRETE
CL	CONCRETE	TG	TIMBER	DM	DRINKING WATER
CC	CONCRETE	TV	TIMBER	EM	EMERGENCY EXIT
CG	CONCRETE	TR	TIMBER	EV	ELECTRICAL
CP	CONCRETE	TT	TIMBER	FI	FIRE
CC	CONCRETE	TG	TIMBER	FL	FLOOR
CD	CONCRETE	TR	TIMBER	FW	FLOOR WATER
CE	CONCRETE	TV	TIMBER	HV	HOT WATER UNIT
CF	CONCRETE	TT	TIMBER	HU	HULL
CG	CONCRETE	TR	TIMBER	IS	INSULATION
CH	CONCRETE	TT	TIMBER	IS	INSULATION
CI	CONCRETE	TT	TIMBER	IS	INSULATION
CL	CONCRETE	TT	TIMBER	IS	INSULATION
CM	CONCRETE	TT	TIMBER	IS	INSULATION
CO	CONCRETE	TT	TIMBER	IS	INSULATION
CP	CONCRETE	TT	TIMBER	IS	INSULATION
CQ	CONCRETE	TT	TIMBER	IS	INSULATION
CR	CONCRETE	TT	TIMBER	IS	INSULATION
CS	CONCRETE	TT	TIMBER	IS	INSULATION
CT	CONCRETE	TT	TIMBER	IS	INSULATION
CU	CONCRETE	TT	TIMBER	IS	INSULATION
CV	CONCRETE	TT	TIMBER	IS	INSULATION
CW	CONCRETE	TT	TIMBER	IS	INSULATION
CX	CONCRETE	TT	TIMBER	IS	INSULATION
CY	CONCRETE	TT	TIMBER	IS	INSULATION
CZ	CONCRETE	TT	TIMBER	IS	INSULATION

**ISSUE DATE**

Issue	Date	Description
A	08.03.19	DA SUBMISSION
B	27.05.19	DA SUBMISSION
C	14.01.19	COURT PLAN
D	28.11.19	SUBMISSION
E	15.01.2008	REVISION DA SUBMISSION
F	15.01.2008	REVISION DA SUBMISSION

**CLIENT**

Greenland

ADDRESS: ASHMORE ESTATE LOT 107 108 109

**CLIENT GROUP**

Greenland

**STRUCTURAL ENGINEER**

WATTE MANAGEMENT

**ARCHITECT**

ANDREW BURNS ARCHITECTURE

**PROJECT NUMBER**

1709-DA06-F

**DRAWING**

ELEVATIONS / SECTIONS

**STATUS**

STATUS: DRAWN, AB, CHECKED, AB, DEVELOPMENT APPLICATION: CHECKED, AB

**SCALE**

1:100

**ORIENTATION**

NORTH

**ANDREW BURNS ARCHITECTURE**

10 Ashmore Estate, Ashmore, Auckland

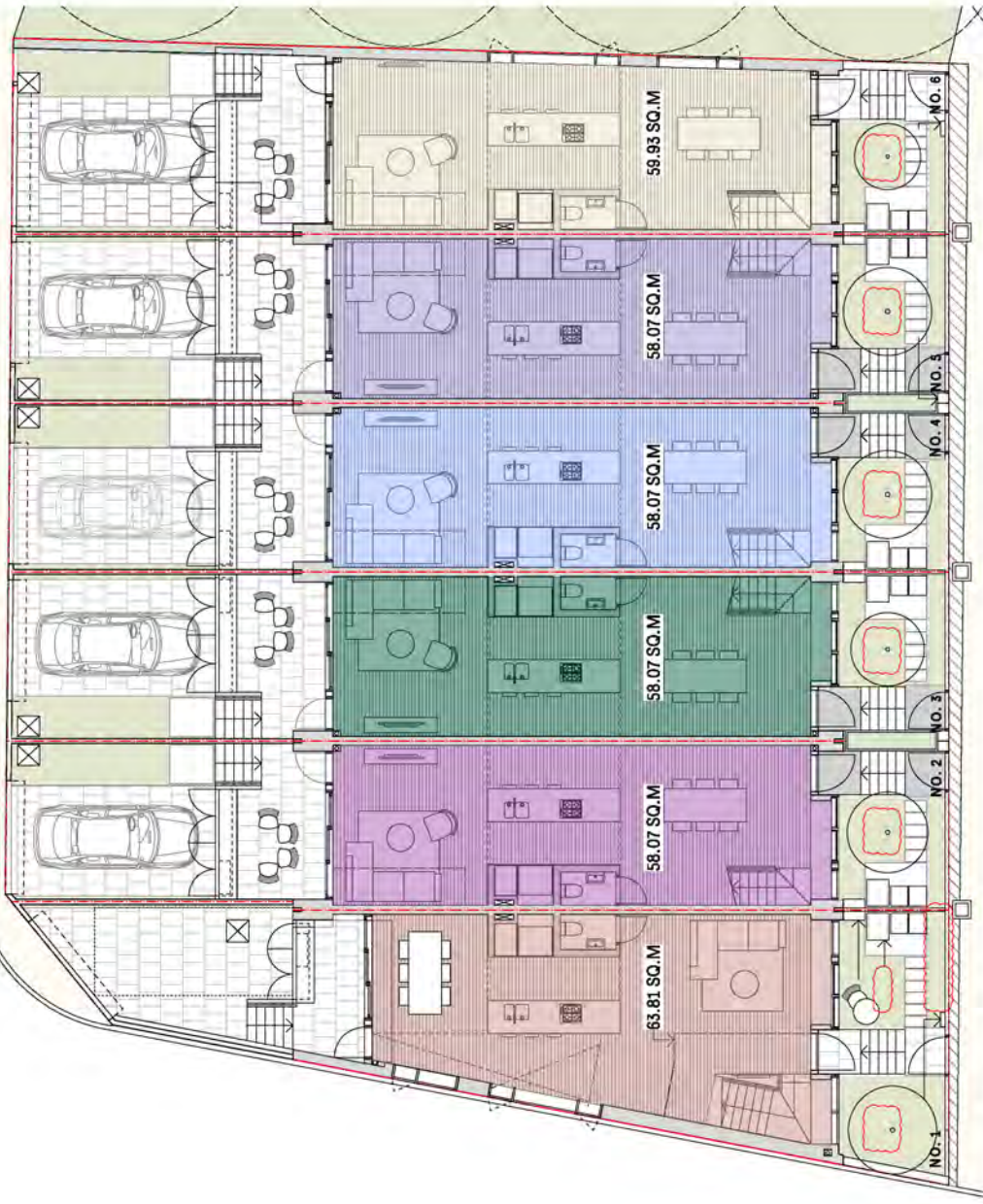
PH: 09 636 1000

PROJECT: ASHMORE SUITES

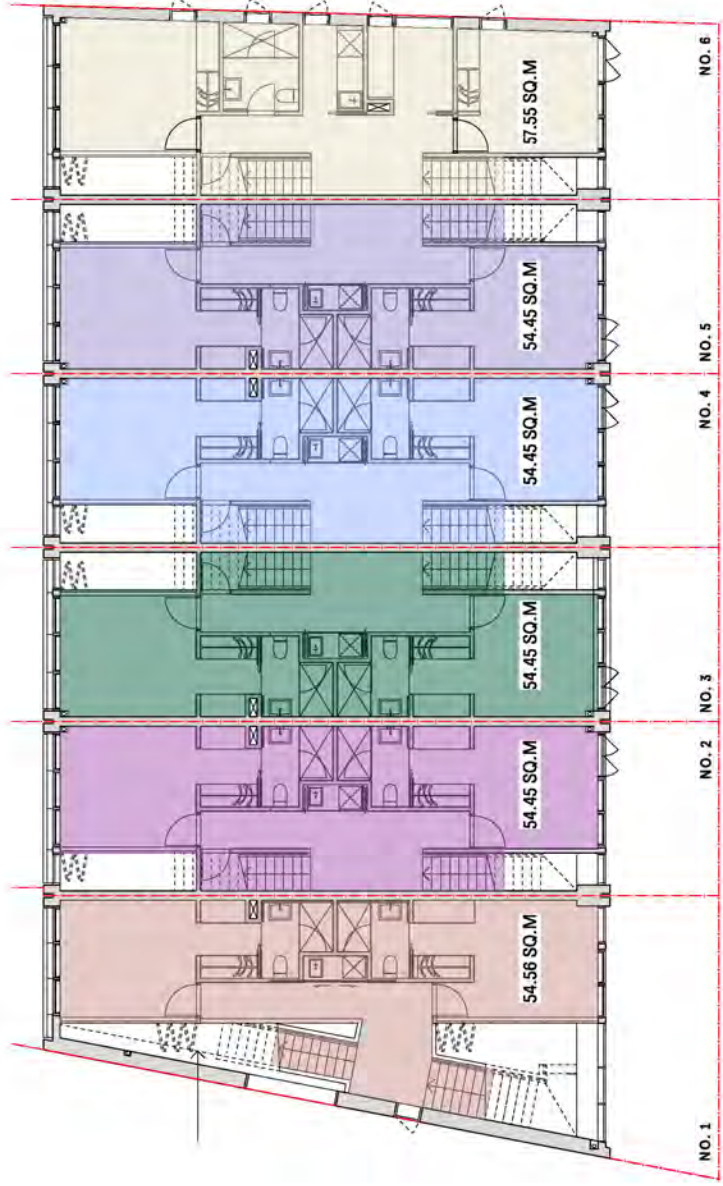




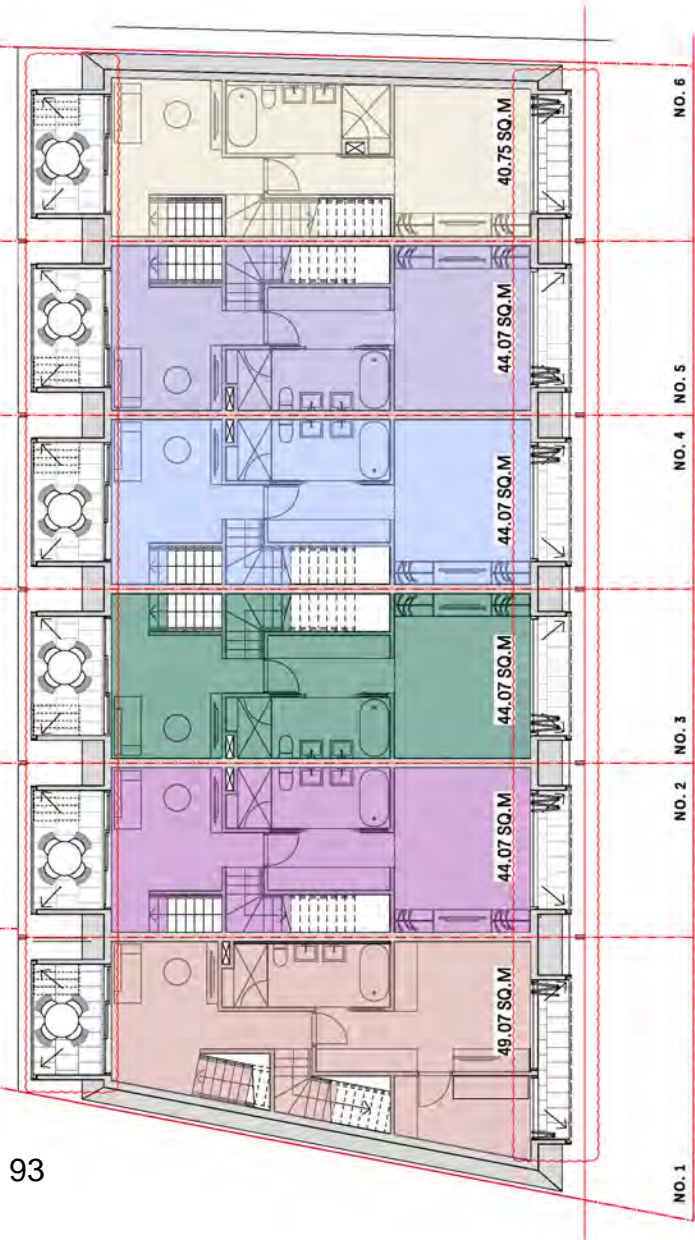




01 - GROUND FLOOR PLAN 1:100



02 - LEVEL ONE PLAN 1:100



03 - ATTIC PLAN 1:100

GFA Level	Terrace 1	Terrace 2	Terrace 3	Terrace 4	Terrace 5	Terrace 6	Total
Attic	49.07	44.07	44.07	44.07	44.07	40.75	
1	54.56	54.45	54.45	54.45	54.45	57.55	
G	63.81	58.07	58.07	58.07	58.07	59.93	
<b>Total</b>	<b>167.44</b>	<b>156.59</b>	<b>156.59</b>	<b>156.59</b>	<b>156.59</b>	<b>158.23</b>	<b>952.03</b>
Max Eligible GFA as per Clause 6.21(7)(b) of SLEP (Inclusive of up to 10% additional FSR).							<b>1074.70</b>

**COMPLIANCE**  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 AND THE BUILDING ACT 2006.  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 AND THE BUILDING ACT 2006.  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 AND THE BUILDING ACT 2006.  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 AND THE BUILDING ACT 2006.

**INTELLECTUAL PROPERTY**  
 THE DESIGN AND CONCEPTS ARE THE PROPERTY OF ANDREWS BURNS ARCHITECTURE AND SHALL REMAIN THE PROPERTY OF ANDREWS BURNS ARCHITECTURE.  
 THE CLIENT AGREES TO INDEMNIFY ANDREWS BURNS ARCHITECTURE FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE LEGAL COSTS, ARISING OUT OF OR IN CONNECTION WITH THE CLIENT'S USE OF THE DESIGN AND CONCEPTS.

**LEGEND**  
 AL ALUMINIUM  
 AN ANTIMONY  
 BA BALTIMORE  
 BC BRICK  
 CD COMPRESSED AIR  
 CO COAL  
 CR CEMENT  
 CU COPPER  
 FC FACE  
 FM FLOOR  
 GR GRANITE  
 HD HARDWOOD  
 HU HULL  
 JU JUNCTION  
 MD MIDDLE  
 MF METAL  
 NC NICKEL  
 PA PAPER  
 PE POLYETHYLENE  
 PI PIPING  
 PL POLYMER  
 PU POLYURETHANE  
 RE REINFORCED  
 ST STEEL  
 TA TANK  
 TR TRAFFIC  
 UN UNFINISHED  
 VA VALVE  
 VC VENT  
 VV VENTILATION  
 WU WATER

**ISSUE DATE**  
 06/03/19 DA SUBMISSION  
 27/05/19 SUBMIT FOR CLIENT REVIEW  
 14/01/19 COURT REVIEW  
 14/01/19 SUBMISSION  
 26/12/19 REVISED DA SUBMISSION

**DESCRIPTION**  
 DA SUBMISSION  
 COURT REVIEW  
 SUBMISSION  
 REVISED DA SUBMISSION

**CLIENT**  
 Greenland Group  
 ADDRESS  
 ASHMORE ESTATE  
 LOT 137 133A/3

**STATUS**  
 DEVELOPMENT APPLICATION  
 DRAWN AB  
 CHECKED AB  
 SCALE 1:100  
 NORTH

**PROJECT NUMBER**  
 JT09  
**DRAWING**  
 GFA PLANS  
**DRAWING NUMBER**  
 1709-DA09-E

**HERITAGE CONSULTANT**  
 HERITAGE CONSULTANT  
 LANDSCAPE ARCHITECT  
 ADDRESS  
 STRUCTURAL ENGINEER  
 ADDRESS  
 WASTE MANAGEMENT  
 ADDRESS

**BCA**  
 BUILDER  
 FINISHER  
 INFRASTRUCTURE/PUB DOMAIN  
 BUILDING SERVICES  
 WOODLAND/URB

**STAINLESS STEEL**  
 SS  
 TIMBER DOOR  
 TD  
 TIMBER FLOORING  
 TF  
 TIMBER WINDOW  
 TW  
 UNFINISHED  
 UN  
 VENTILATION  
 VV  
 WATER

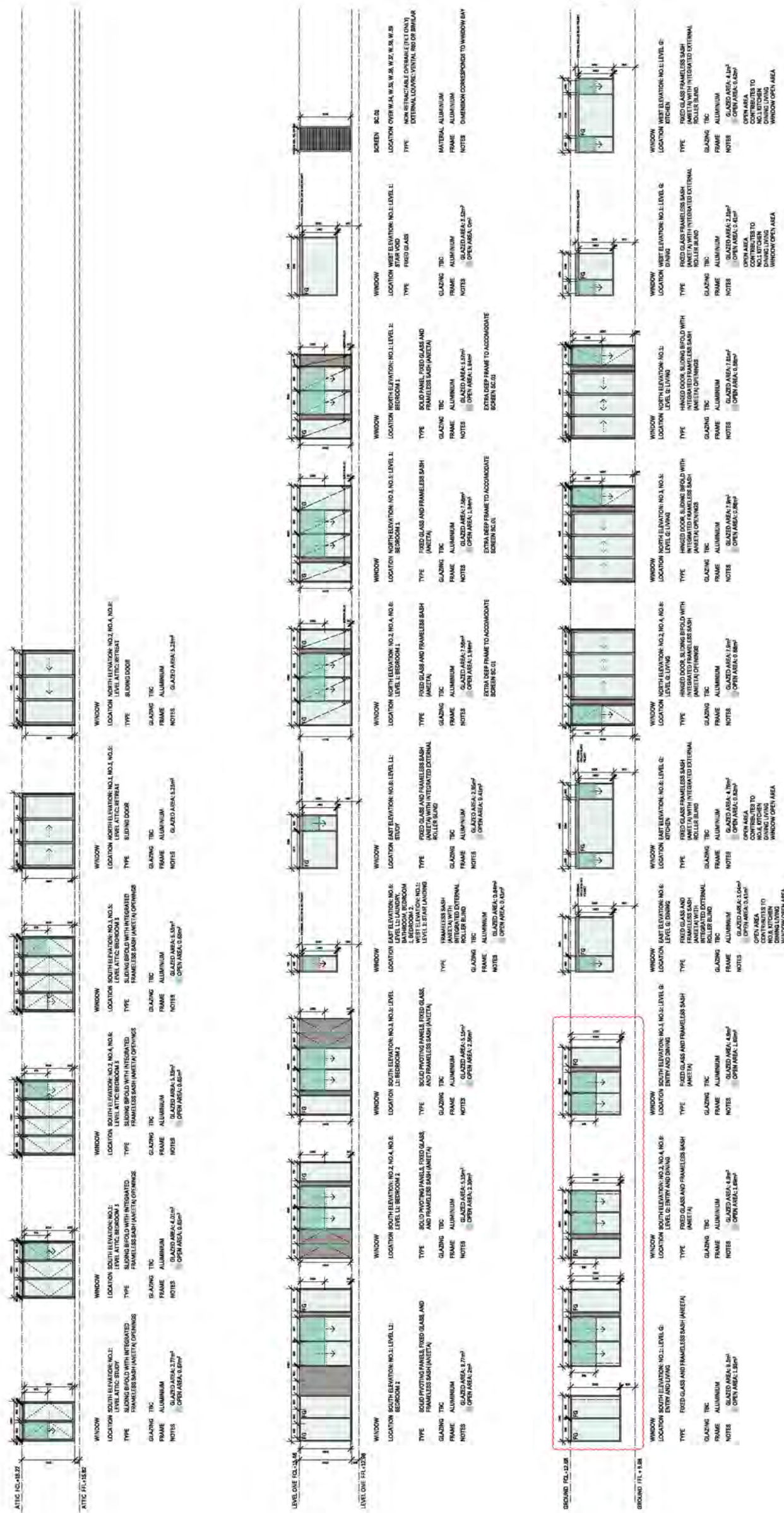
**METAL CLADDING**  
 MC  
 METAL ROOF SHEETING  
 MR  
 PAINT  
 PA  
 REINFORCED CONCRETE  
 RC  
 SANDWICH CLADDING  
 SC  
 BRICKWORK  
 BK  
 ROOF  
 RO

**FACE BRICK**  
 FB  
 FLOOR WATER  
 FW  
 HARDWOOD  
 HW  
 JOINT  
 J  
 MIDDLE  
 MF  
 METAL CLADDING  
 MC  
 METAL CLADDING  
 MC





NOTE: UNLESS STATED OTHERWISE, ALL ROOMS GLAZED AREA = 20% OF RESPECTIVE HABITABLE AREA



01 - WINDOW SCHEDULE

**INTELLECTUAL PROPERTY**  
 ANDREW BURNS ARCHITECTURE  
 1709-D A12-D  
 1709-D A12-D

**COMPLIANCE**  
 ANDREW BURNS ARCHITECTURE  
 1709-D A12-D  
 1709-D A12-D

**LEGEND**  
 AL ALUMINUM  
 GL GLAZED  
 FR FRAMELESS  
 OP OPEN AREA

**ISSUE DATE**  
 18.11.19  
 02.12.19  
 11.12.19  
 10.01.20

**DESCRIPTION**  
 DRAFT WINDOW  
 WINDOW SCHEDULE  
 WINDOW SCHEDULE  
 WINDOW SCHEDULE

**CLIENT**  
 GREENLAND GROUP  
 GREENLAND GROUP  
 1709-D A12-D

**STATUS**  
 DRAWN  
 CHECKED  
 APPROVED

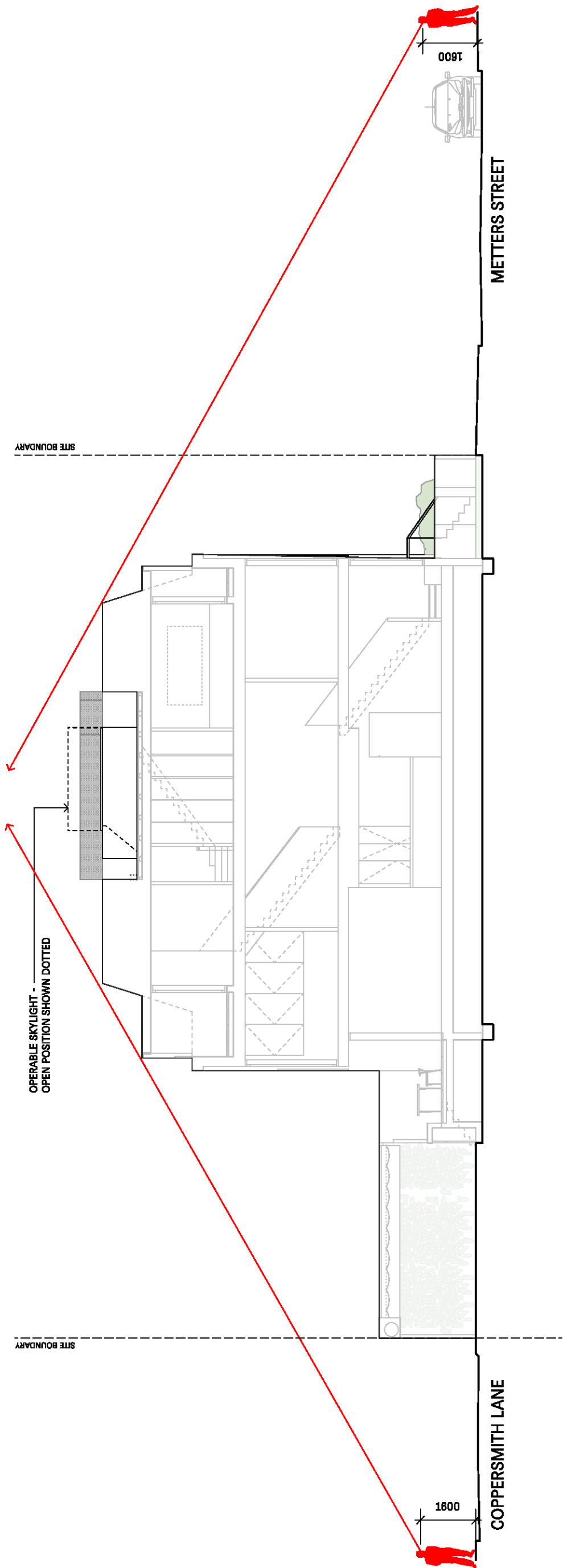
**PROJECT NUMBER**  
 1709-D A12-D

**DRAWING**  
 WINDOW SCHEDULE

**SCALE**  
 1:100

**DATE**  
 11/19

**PROJECT**  
 ASHMORE SUITES



MINIMUM DISTANCE FROM ASHMORE STREET TERRACES TO BUILDING D ROOF TERRACE 22M

MINIMUM DISTANCE FROM ASHMORE STREET TERRACES TO BUILDING D 17.5M

SETBACK OF ROOF TERRACE FROM PARAPET PREVENTS DOWNWARD VIEW TO REAR NEIGHBOUR PRIVATE OPEN SPACE

LOUVRE PRIVACY SCREEN TO 1500MM HIGH PREVENTS DOWNWARD VIEW TO REAR NEIGHBOURS

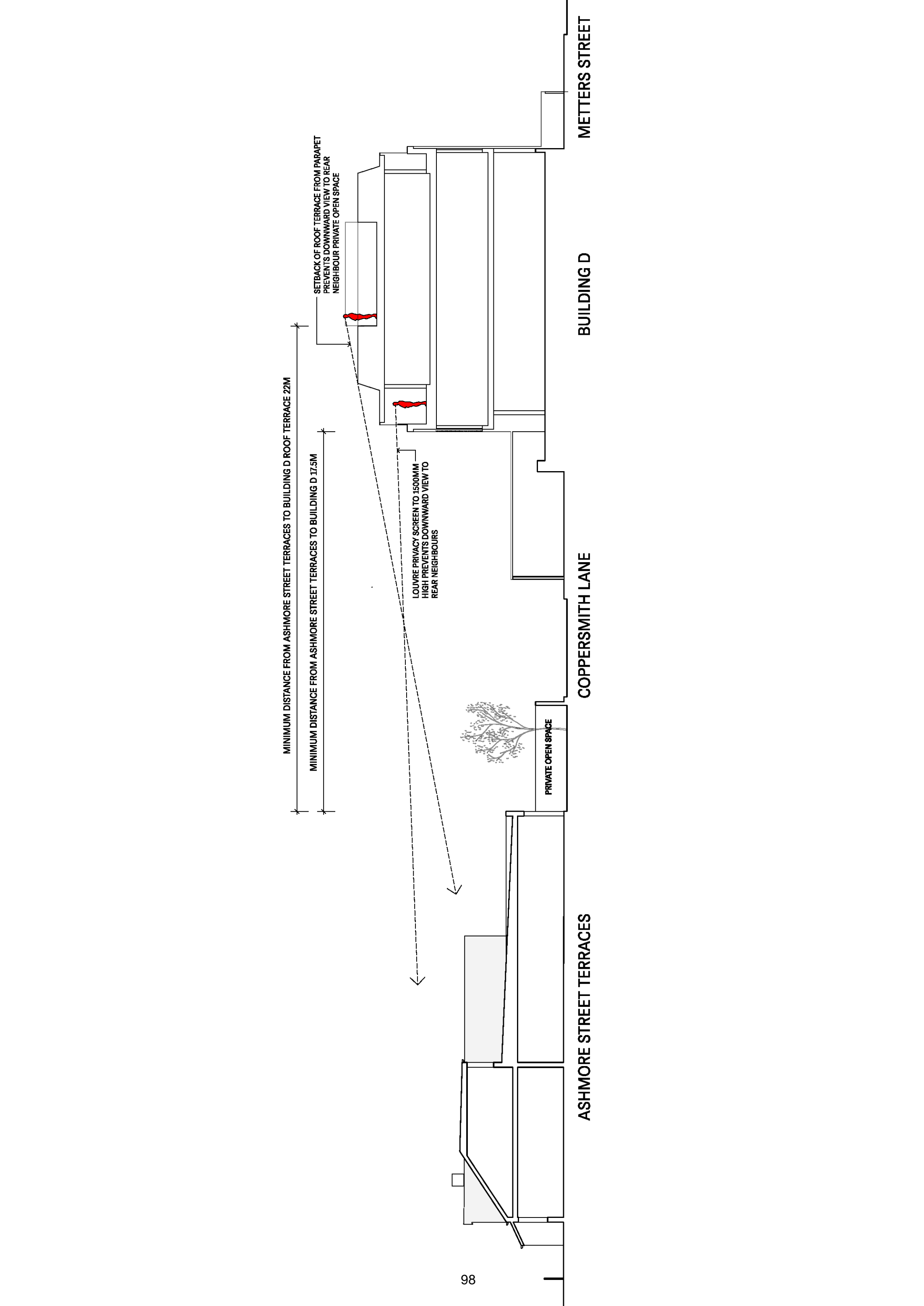
PRIVATE OPEN SPACE

ASHMORE STREET TERRACES

COPPERSMITH LANE

BUILDING D

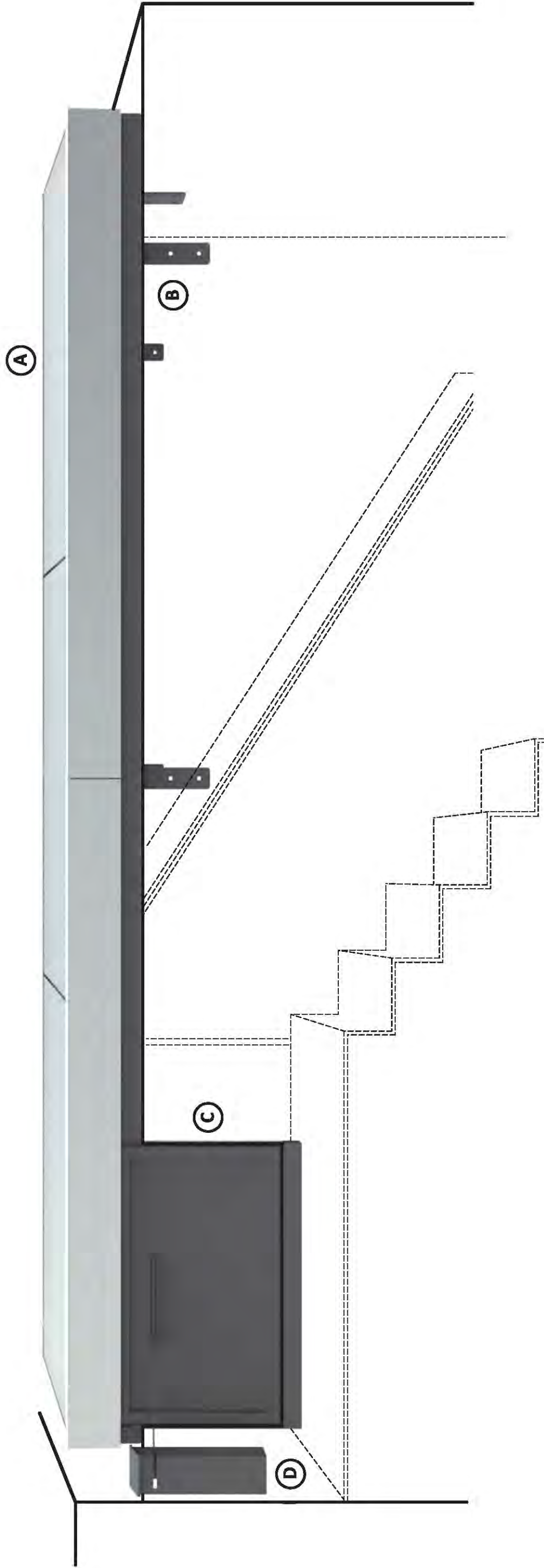
METTERS STREET







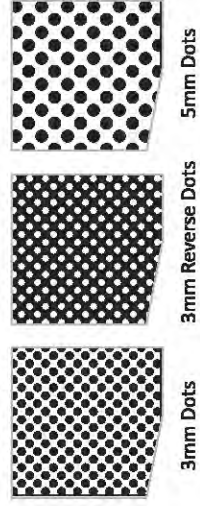
## Design Specifications



### (A) GLAZING

- Allowance for double glazed unit with seraphic print
- Trafficable for maintenance

Seraphic Print Options:



### (B) FRAMEWORK

- Painted mild steel framework with stainless steel flashings
- Paint specification: refer to Dulux Protective Coat System for Biggola Beach residence

### (C) INTERGRATED DOOR

- Painted mild steel framework
- Clad with painted bondor panel or similar
- Paint specification: refer to Dulux Protective Coat System for Biggola Beach residence
- Automated with skylight control system

### (D) MOTORS & ELECTRICAL

- SKYLIGHT:
- Linear actuators x 2 - Black in colour
- INTEGRATED DOOR:
- Linear actuator x 1
- COMMON TO ALL
- Battery backup/uninterrupted power supply
  - Excludes BMS Integration

### CUSTOM CONTROL PANEL (QTY:2)

- Surface mounted, internal and external control panel
- Includes exposed conduit
- Key lockout in control panel (to prevent misuse)

Operation

STEP **1** SKYLIGHT OPENS



STEP **2** DOOR OPENS



## Operation

### STEP 3 ACCESS ROOF TOP

